

Silver Springs Single Family HOA Design Standards



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Silver Springs Single Family Homeowners Association (SSSF HOA) Design Standards

Section 1: Silver Springs Single Family Homeowners Association (or “SSSF HOA”) Design Review Process

A. Design Philosophy, Process and Architecture Review Committee (ARC)

Standards implementing Silver Springs Single Family Home Owners Association (SSSF HOA) architectural and landscape regulations establish design and construction mandates essential to preserving the highest possible values for residential home ownership.

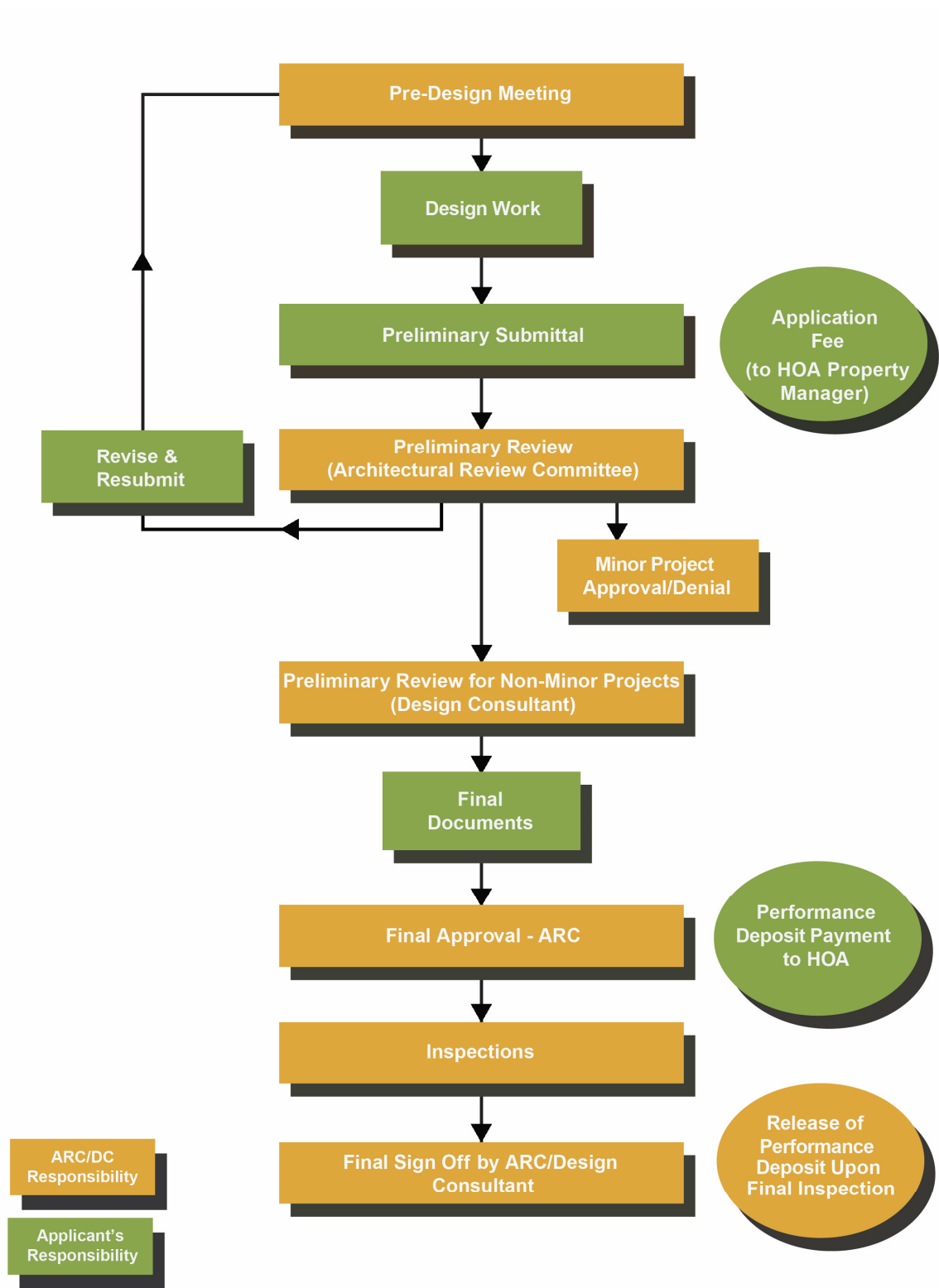
To that purpose, SSSF HOA property owners, current and prospective, are advised to review these standards and to share them with architects and landscapers when planning substantial construction, reconstruction and other property improvements, since it is necessary prior to implementing such plans, that an Applicant obtain direction and ultimate approval from the SSSF HOA’s Architecture Review Committee (ARC) and when necessary, a SSSF HOA-designated design consultant.

The procedure consists of two related but distinct requirements:

1. Formal review by the HOA property manager. At this stage the resulting design of proposed construction and/or landscape improvements should demonstrate substantial compliance with these guidelines. If the HOA property manager determines the project to be a “minor project” (as defined in Section E. *Fees*), it will be submitted directly to the ARC for review. If the project is determined to be more than a minor project (as defined in Section E. *Fees*), it will be submitted to the Design Consultant for review and analysis prior to ARC review.
2. ARC review and approval. The ARC may require additional plan revisions or changes for conformity with architectural and landscape standards prior to eventual authorization. No construction or major property improvements may commence until that authority is granted. An appeal procedure of all ARC decisions is available.

Fees and Deposits for design review may be assessed at the time of HOA property manager review to compensate consultation services. In addition, it is a prerequisite of the approval process that the applicant’s HOA account be in good standing. Contact the SSSF HOA property manager for detailed information regarding how and when to initiate required ARC procedures (<https://www.silverspringshomeowners.com/contact.php>). Please do not hesitate to contact the property manager or members of the ARC should you require clarification of any guideline or rule.

B. Design Review Process



C. Submittal Requirements (see Sample Design Review Application in Appendix)

- ✓ Written description of the project
- ✓ Photos of the project's location
- ✓ Brochure or manufacturer's "cut sheets" of all exterior materials/items including all dimensions
- ✓ Samples of all exterior materials, including colors
- ✓ A plan view of the property (drawn on a Google Map or similar, or a drawing on a survey, or a plan view drawing) illustrating existing conditions and proposed changes.

The following *may* be required based upon the pre-design meeting with the HOA property manager and/or the design consultant (if deemed necessary for all non-minor projects):

- ✓ Property plat or survey clearly identifying the location of the proposed project (drawn to scale at 1" = 10') on the property plat
- ✓ Scaled architectural drawings/plans (drawn to scale at 1/4" = 1') including all exterior elevations; showing the finished project as proposed with measurements, such as height, length and width
- ✓ A materials board showing all exterior materials, including paint and stain colors and product samples
- ✓ A lighting plan showing photos or "cut sheets" of lighting fixtures (including wattage/location/light color temperature)
- ✓ Scaled landscape drawings/plans showing the layout and grading of the site, identification of all plants, including botanical names, plant locations, and the identification of all furniture and ground and surface materials
- ✓ Construction mitigation plan clearly noting details such as proposed construction hours, construction parking needs, cleanup plan, porta-potty location, dumpster location, etc.

** Nonconforming Structure or Improvement – If a property or structure has been improved and used in accordance with the terms of the original Summit County Building Permit and the SSSF HOA Design Guidelines in place at that time, such structure or improvement shall be allowed to remain as is providing such structure or improvement is not expanded in any way that violates the current SSSF HOA Design Standards. Any project that previously received a variance from the SSSF HOA shall be allowed to remain as is but any expansion requires review and approval by the ARC. These standards are not retroactive.*

D. Appeal Process

Following the completion of the Design Review Process of home and addition/remodel/improvement project proposals, the Architecture Review Committee (ARC) will issue a decision to approve the project (with or without conditions), reject the proposal, or ask the applicant for further revisions prior to reconsideration. The ARC will typically cite specific criteria and requirements from the Design Standards when rejecting a proposal.

When the ARC rejects or asks for substantial revisions to a proposed project, the applicant may choose to appeal the decision. This appeal must use the following procedure:

1. Address in writing to the SSSF HOA.
2. Date and submit within thirty (30) days of the ARC decision.
3. Submit a written narrative stating the reasons for appealing the ARC's decision citing specifically those Design Standards the ARC determined were not met, supported by a full explanation as why the applicant contends otherwise.

Following receipt of an appeal, the SSSF HOA will refer the appeal to the Board of Trustees to schedule a meeting and issue a decision within forty-five (45) days. The decision of the SSSF HOA Board of Trustees is binding for both the Applicant and the ARC.

** Proceeding With Construction Though Denied Approval –Any Homeowner that proceeds with property construction and/or improvements despite ARC denial of approval for said project will result in the issuance of a Violation Notice/Stop Work Order. Upon such, the Homeowner or occupant is required to cease construction and correct the violation by applying for and obtaining approval within 48 hours of Violation Notice/Stop Work Order. If no remedy is provided within 48 hours of the Violation notice, fines shall be instituted (48 hours after the violation notice is given, the period does not re-set). Construction shall not be permitted to resume until approval is obtained. Fines shall be assessed at \$1,000 Minimum - \$5,000 Maximum (at the discretion of the Board of Trustees).*

E. Fees & Performance Deposits

The Board of Trustees may revise fees in association with the Architecture Review Committee (ARC) as outlined in the CC&Rs. The performance deposit requirements and current fees for review by the Design Consultant with ARC review are specified within the ARC application located on the Association's official website at www.silverspringshomeowners.com.

Minor Projects (including but not limited to):

- Fence Installation or Repair
- Mailbox
- Dumpster (submit proposed location; dates)
- Garage Doors
- Minor Landscaping – projects impacting less than 25% of the front or side yard area or individual projects that alter visual character of the property, e.g. large tree plantings, installation of an accent boulder, etc. and *any* proposed landscaping or other improvements within the eight foot (8') underdrain easement (see Section 3.H – Water Underdrains Within the SSSF HOA)
- Roof Replacement
- Driveways (new, replacement, or additional paving)
- Art / Sculpture
- Play House/Fort
- Painting or Repainting
- Sheds, pergolas, or similar structures

Medium Projects (including but not limited to):

- Solar Panel Installation
- Roof Replacement – if involving a change of material or design without clear precedent in the community
- Driveways – if proposed project requires a variance for approval
- Landscape – projects impacting greater than 25% of the front or side yard area; projects that include alterations to the rear yard; significant projects that include any structural installation(s), or projects that result in any major visual alterations on the property
- Patio or Deck Installation
- Water Features / Ponds / Pool
- Greenhouse
- Exterior materials Modification/Replacement

Major Projects (including but not limited to):

- New Addition(s) to an Existing Structure resulting in additional square footage of up to 400 square feet of new usable space.

Significant Projects (including but not limited to):

- New Addition(s) to an Existing Structure resulting in additional square footage of over 400 square feet of new usable space.
- Tear Down and/or Rebuild of Primary Structure
- New Structures

Section 2: Primary Structure / House Standards

Building massing and form in the SSSF HOA should be designed to blend with existing homes in the neighborhood, as well as the surrounding mountain environment. Massing of buildings should generally step down from a central roof form. Simple box-like massing should be avoided. Long unbroken expanses of walls or roof ridgelines are discouraged. Garages should be set back from the forward-most façade of the front elevation of the home. New and remodeled homes should complement the existing homes to maintain the character of the neighborhood.

A. Set Backs

Setbacks must be at least thirty feet (30') from the road right-of-way (ROW) line and twelve feet (12') from the rear and side property lines. All Covenants, Conditions and Restrictions (CC&Rs) apply.

** Note: Applicants should check the recorded plat as it pertains to their specific Lot - the front Lot line may be either the centerline of the street or the ROW (right of way) line near the street's edge.*

B. Size of Structure Requirements (Per SSSF HOA Covenants, Conditions and Restrictions)

The minimum structure size for a single level home is 1,650 SF of enclosed living area. The minimum structure size for two-story dwellings is 1,210 SF on the ground level and 660 SF on the second floor. These figures exclude garages, patios and decks.

C. Overall Architectural Style

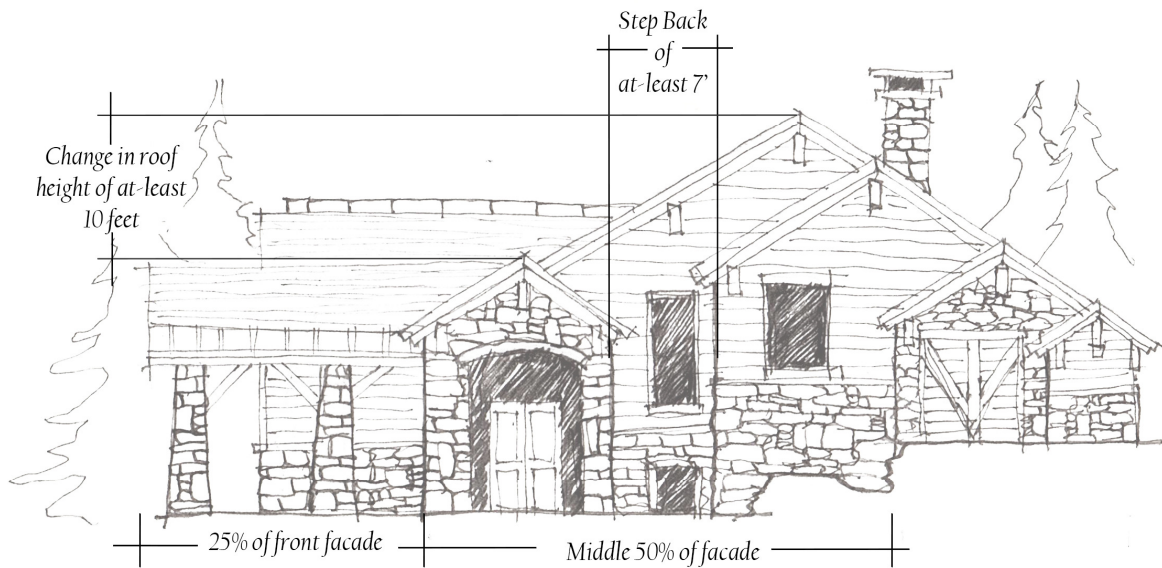
Extreme designs or designs including unusual size, mass or shapes, or use of materials not appropriate for the Silver Springs character will not be approved. Specific designs that will not be approved include those incorporating gambrel or mansard roofs, curvilinear and domed shapes, A-frames or Quonset roofs. No Art-Deco, English Tudor, Southern Colonial or log homes will be allowed.

D. Massing, Scale & Height

1. Massing of Building

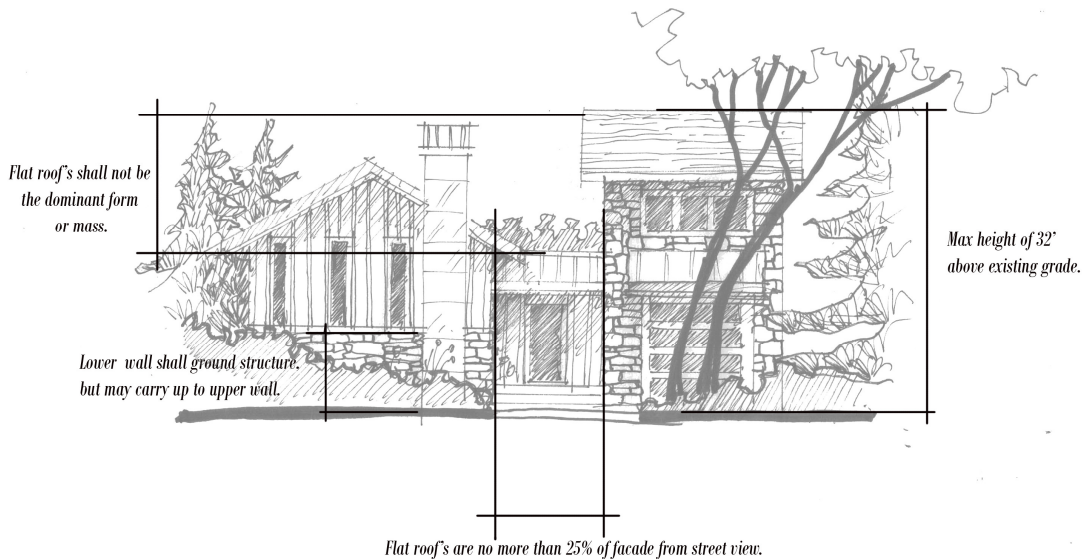
The placement of buildings at SSSF HOA shall respect and maintain compatibility with the Silver Springs character. Structures shall follow natural contours as much as possible and fit into existing land massing, rather than contradicting these forms.

Structures shall be designed with shifts in building massing, variations in height, profile, and roof form that provide human scale. The front façade of any new structure shall have a horizontal shift (or step back) of at least seven feet (7') for a minimum of 10% of the front façade width (all within the middle fifty percent [50%] of the structure's façade) and the front façade shall have a change in roof height of at least ten feet (10') for a minimum of twenty-five percent (25%) of the front façade. This change in roof height shall extend back from the front façade for at least ten feet (10').



2. Building Height

The maximum building or structure height shall be thirty-two feet (32') (Section 10-4-3 of the Summit County ordinance) above the original natural grade of the site. If the grade has been altered, a property owner shall interpolate grade starting from the known point of natural grade at the beginning of the altered ground plane to the known point of natural grade at the end of the altered ground plane.



E. Materials

1. *Lower Wall Materials*

Approved materials include:

- Stone (up to a maximum of thirty percent [30%] of the total structure façade area)
- Corrugated steel (up to a maximum of thirty percent [30%] of the total structure façade area)
- Plate steel (up to a maximum of thirty percent [30%] of the total structure façade area)
- Steel or metal panels (up to a maximum of thirty percent [30%] of the total structure façade area)
- Cement-backed siding, such as Hardi-board (up to a maximum of seventy percent [70%] of the total structure façade area)
- Other materials approved by the ARC

Prohibited materials include, but are not limited to:

- Cultured stone
- Stucco
- Brick
- Asphalt composition, shakes or tiles
- Aluminum or vinyl/plastic siding
- Textured Plywood
- Concrete block or concrete with exposed aggregate (CMU - concrete masonry unit)

2. *Upper Wall Materials*

The upper wall materials (above four feet (4') on each façade) shall be consistent with the natural mountain environment, and not express urban or industrial styles. The upper wall material can differ from that of the lower portion of the wall or be of the same material.

Upper walls can be surfaced in the following materials:

- Wood siding or wood shingles.
- Stone (up to a maximum of thirty percent [30%] of the total structure façade area)
- Stucco (up to a maximum of thirty percent [30%] of the total structure façade area)
- Steel (up to a maximum of thirty percent [30%] of the total structure façade area)
- Cement-backed siding such as Hardi-board (up to a maximum of seventy percent [70%] of the total structure façade area)

The following materials may not be used on upper walls:

- Brick
- Textured Plywood
- Ceramic tile
- Vinyl/Plastic siding
- Aluminum siding
- Cultured stone
- Asphalt siding/shingles

3. Number of Wall Materials

Individual homes can utilize as many as four different materials, but the preferred number of different wall materials is two to three.

F. Roofs

1. Roofs: Predominant Roof Shape

Roof shape is important in terms of organizing the massing of buildings. The objective in determining roof shape is to establish a visual order to the structure and the fabric of the neighborhood. Gable roof forms are preferred in the SSSF HOA.

2. Roof Shape

The following primary roof types are permitted at Silver Springs:

- Gable
- Partial hip
- Full hip

The following primary roof types are not permitted:

- Conical
- Mansard
- Faux Mansard
- Gambrel
- Domed

The following primary roof forms may be permitted, but only with prior approval of the ARC:

- Shed
- Joined Shed
- Curvilinear (including Barrel Vault)

3. Roof Pitches

Roof slopes at Silver Springs shall be between 4/12 pitch (four foot rise and twelve foot run) and 8/12 pitch (eight foot rise and twelve foot run)

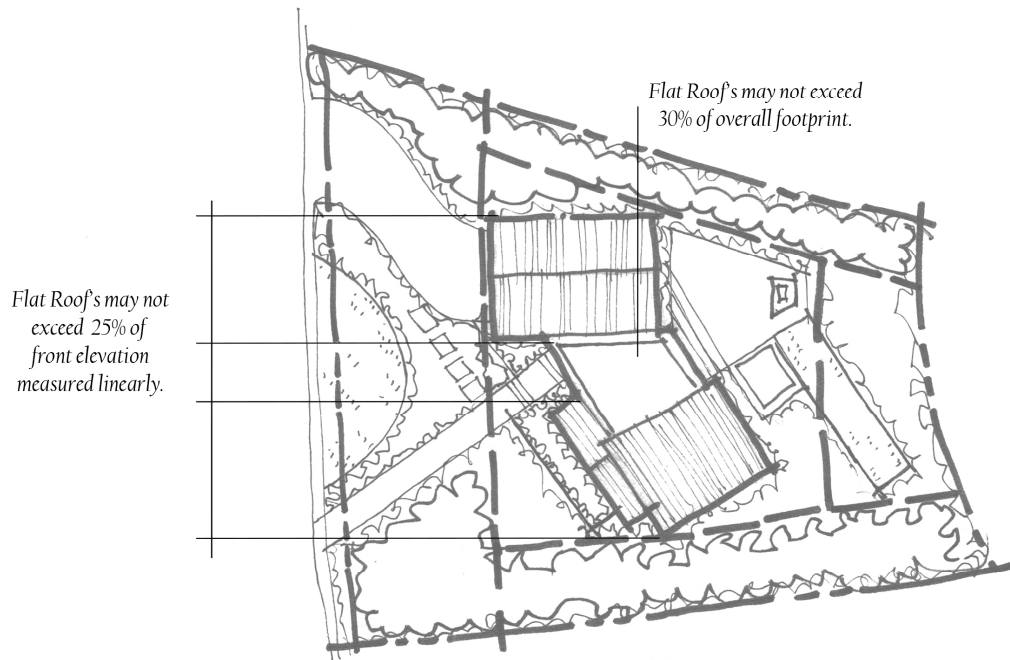
Roofs with greater or lesser pitch will generally be prohibited, unless there are compelling reasons for them as determined by the ARC.

4. *Ridgelines*

More than one roof ridgeline is strongly encouraged and a gabled roof is the preferred roof form. No ridgeline may exceed forty feet (40') in length without a structural break, unless otherwise approved by the ARC. Roofs shall maintain a minimum of seven feet (7') of separation from the finished grade. It should be clear, when looking at the structure, the function of the roof is to provide a covering for the structure and not to be a major element in the structure's horizontal massing such as the roof not substituting for a wall. Roofs descending on either side from the ridge of the predominant main roof must have the same slope (unless a shed roof is approved by ARC). Dominant roof forms are to be broken with open-ended gables or other architectural features such as dormers.

The following secondary roof forms are permitted under certain conditions:

- Shed & Joined Shed – allowed if attached as secondary roof form to structures whose predominant roof shape is one of the types permitted without restriction.
- Flat – unacceptable as the predominant roof shape. They may be considered as a secondary roof shape on structures with an allowed predominant roof shape or as a means of facilitating a second floor balcony area or green roof area. Flat roofs as a secondary roof type may not exceed twenty-five percent (25%) of the structure's front elevation (measured linearly) and not more than thirty-three percent (33%) of the structure's overall footprint. No flat roof may be higher than twenty-two feet (22') above existing natural grade.
- Curvilinear (including Barrel Vault) – may be considered for use as entry roof form or as secondary roof feature.



5. *Roof Overhangs*

Roof overhangs may not be boxed in and/or covered. Roofs shall overhang walls a minimum of eighteen inches (18") and up to thirty six inches (36") maximum.

6. *Fascia and Bargeboard Type and Width*

Exposed rafter tails are discouraged at the SSSF HOA. Roof fascia and bargeboards must have a minimum width of eight inches (8") and a maximum width of twelve inches (12"). Approved fascia/bargeboard materials are wood or metal.

7. *Roof Surfacing Material*

Roof surfacing materials are important as a means of blending the new construction to the existing character of the area. Any such materials shall be non-reflective. Careful selection of these materials can help to relate the buildings to their surroundings, while the wrong color and texture can make the structure appear out of proportion. From a functional standpoint, the choice of materials depends on the slope and assembly of the roof. The objective is to choose roof-surfacing materials that help the building blend with its site, the adjacent structures, its climate conditions, and which are also functionally and aesthetically appropriate.

The use of architectural grade asphalt-composition shingles is allowed, subject to ARC approval of proposed color.

The following metals can be used as roof surfacing materials:

- Copper (must be allowed to oxidize and turn bronze)
- Zinc (flat finish)
- Natural rusted Cor-ten metal
- Aluminum if coated with an approved color
- Steel if coated with an approved color

The following masonry or composite tiles may be used as roof surfacing materials if of an approved color:

- Concrete tiles
- Eco-shake or recycled material tiles
- Corrugated metal (secondary material only)

Green roofs planted with appropriate vegetation are only permitted on secondary flat roofs within the SSSF HOA community.

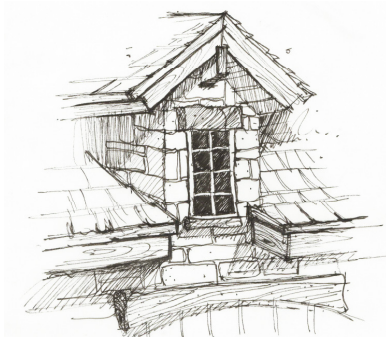
Roof murals, characters and messages are not permitted. All roof flashing must be of a color harmonious with the roof and upper wall surfacing. All types of barrel or “s” tiles, asphalt roll roofing or reflective metal surfaces are prohibited.

8. Roof Appurtenances

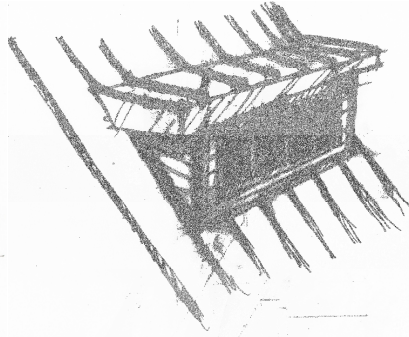
Roof appurtenances – such as dormers, clerestories and skylights – can create interesting, pleasant interior spaces. Their location on the roof is critical to avoiding an over-decorated, visually confusing appearance.

Dormers can have the following shapes:

- Shed
- Gable
- Flat
- Hip

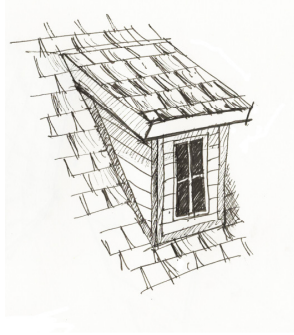


Gable Dormer



Flat

Dormer



Shed Dormer



Hip Dormer

Ornaments like finials and decorative turrets are discouraged. Snow diverters and retainers may be necessary installations on roofs in the Silver Springs neighborhood. They should be handled as an integral part of the roof plane.

Rooftop access stairways, ladders, elevator shafts, vent shafts, mechanical equipment areas, antennae, etc. shall be confined within the interior of the roof structure and within roof dormers, and shall not protrude from the roof. All roof venting/pipe penetrations shall be painted or stained to blend in with the predominant roof material or flashing color.

Skylights are allowed subject to the ARC approval; they shall not be reflective and shall be flush with the roof surface. They shall not extend to the roof eave line. Bubble type skylights, reflective skylights and those that extend beyond the roof plane are prohibited.

If a chimney is incorporated into the design of a house, it shall be made of stone, wood, stucco and non-reflective metal are allowed, subject to the ARC approval. Chimney caps shall be in proper proportion with the chimney structure.

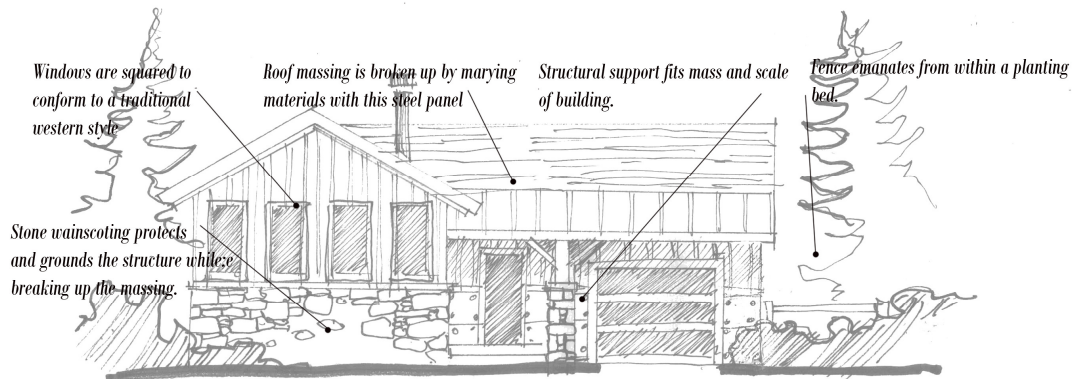
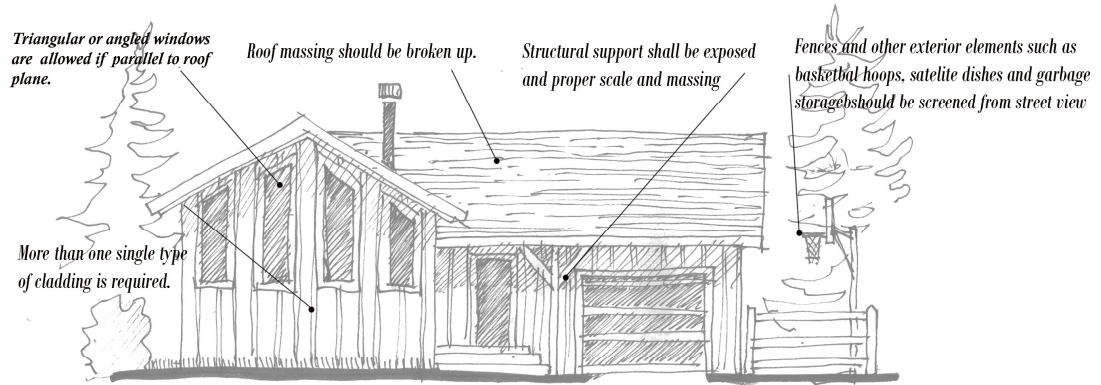
Vents and chases that extend beyond the roof plane shall be located on the rear (non-street facing) roofs.

G. Openings in the Facades – Windows, Doors, and Porches

1. *Wall Openings*

No more than 50% of the front or side facades of a structure may contain any type of wall openings (e.g. windows, doors, garage doors, breezeways, etc.). The rear façade of a structure has no wall opening or window restrictions.

No individual façade shall contain less than 10% of any type of wall openings; an exception may be made for the side façade of a garage.



2. Windows

Windows may be constructed of wood clad with colorfast vinyl, aluminum or fiberglass materials. Metal or metal covered windows must be coated with an approved finish. Fiberglass and colorfast vinyl windows require ARC approval.

All windows shall be fully enclosed by a window trim board that fully surrounds each window and is at least three inches (3") in width.

Windows shall be rectangular or square in shape. In addition, the following window shapes and types are not allowed:

- Triangular
- Octagonal
- Round, elliptical and arch-formed
- Bubble "fishbowl"
- Shutters for any window type
- Garden (such as bay windows or those that extend beyond the plane of the facade) unless with prior ARC approval

** Angled windows that follow the slope of a gable (and within three feet [3'] of the eave) are permitted with ARC review and approval*

3. *Exterior Doors*

Doors shall be made of wood, metal, glass or vinyl materials and colors shall match or accent the color of the house.

4. *Balconies and Decks*

No single deck may extend beyond 25% of the length of the front façade to which it is attached. Deck support columns shall have dominant stone bases and shall be supported by wood posts. All other materials and designs require ARC approval.

H. Exterior Colors

1. *Color Palette*

All exterior colors shall blend with surrounding properties and the natural mountain environment harmonizing with the Silver Springs character.

For exterior colors, the predominant tones are warm, earthy hues, whether in the natural patina or weathered color of the wall surface itself, the color of the paint, stain, or other coating. Bright and dramatic colors are prohibited, unless approved by the ARC for small accent features. A color guide is available through the SSSF HOA's property manager.

I. Garage Doors & Front Facades

1. *Garage Doors*

A two-car minimum garage is required and four-car maximum garage capacity is permitted for any structure. No more than three door openings (three single bays or a two bay and a single bay) shall face the front/street right-of-way. Garage door materials allowed include wood, metal, steel and fiberglass; no garage door materials may be reflective. Garage door colors should be applied to blend with trim colors and other finishes of the home. Accent colors may be considered by the ARC. Garage doors shall not dominate the front view of the home.

J. Solar Panels & Satellite Dishes

1. *Solar Panel Location and Design*

Solar panels are permitted on all roof planes, subject to the following requirements:

- All solar panels must be a dark color such as black, grey, charcoal to closely match the roof material and appear non-obtrusive as a roof top element.
- Solar panels must be of the least reflective material available.
- There shall be minimum spacing between panels.

- No solar panels may be elevated above the roof plane with angle brackets or similar features – all solar panels and associated hardware must be mounted flush to the roof.
- Solar panels may not be installed within three feet (3') of any edge of any roof plane.
- No part of the installation shall be visible above the peak of the roof on which it is mounted.
- All non-absorbing parts must be painted to match the roof or in certain circumstances, be enclosed and painted to match the background color.
- All piping, wiring and color devices on the roof plane must be hidden or minimally visible.
- All conduit and wiring leading from the ground plane to the solar panels must be concealed along an inside corner and/or painted to match the structure's siding.
- All solar panel applications will be reviewed by the ARC design consultant.

2. Satellite Dishes

Satellite dishes should be located out of view of the street right-of-way and with respect to the neighbors when considering installation locations. Satellite dishes larger than 36" are prohibited.

Section 3: Site Design (Driveways / Patios / Decks) & Landscape Plan

A. Character

1. Preservation and maintenance of existing trees

The existing landscapes, vegetation and topography are to be considered when siting buildings and designing outdoor spaces.

Exceptions to this include areas where existing vegetation can be shown to be a potential hazard, such as where driveways meet the street and existing vegetation blocks views of pedestrians, street corner sight triangles where vegetation blocks views of traffic, or where existing trees are shown to be a potential fall hazard due to damage, or infestation, or interfere with the underdrain system (see Section 3, Paragraph H for details).

2. Incorporate site-specific design solutions that respond to each lot's existing topography

Buildings are to be sited to minimize grading by following and/or stepping with the natural topography. A change in grading that is greater than four feet (4') is not permitted. The structural placement of buildings should consider the outdoor areas are to be designed to take advantage of sunlight, provide wind and snow protection and capture views.

3. Utilize natural and local building materials and "mountain western" vernacular details for landscape structures, site walls and outdoor areas

Wood, steel and stone building materials that are extensions of the building architecture are to be incorporated into landscape designs. Mountain-western inspired details should be used throughout the design.

B. Siting Considerations

Front yard, side yard and rear yard setbacks, as defined by Summit County or the Silver Springs CC&Rs, whichever is more restrictive, shall be considered the building envelope. Owners and consultants should maximize the site's natural attributes in siting new or expanded building footprints. A site plan shall be prepared in concert with the architectural design. For any landscaping project that exceeds 25% of the front and side yard property area, less the building footprint and driveway, the landscape design shall be submitted to the ARC prior to any new planting or construction. Landscapes are to be completed within one (1) year of Certificate of Occupancy. Site plans shall consider:

- 1. Grading and Drainage.* Drainage considerations shall account for snowmelt and runoff from all impervious surfaces including driveways, roofs and patios. Ideally storm water shall be retained onsite and allowed to percolate into soils.

C. Lot Diagrams and Improvement Envelopes

Two areas are identified, each with separate requirements that must be adhered to by the architect, landscape architect and builder.

1. *The Building Envelope.* This space is determined by the Summit County setback requirements or the Silver Springs CC&Rs, whichever is more restrictive. The landscape within the building envelope is unrestricted as long as it does not conflict with other guidelines herein. All landscape structural elements shall be contained within this building envelope.
 - a. Owners of Lots which lie within one hundred feet (100') of the Silver Springs Lakes, or naturally occurring year round streams, or within 40' of any wetland, shall consult with Summit County for possible additional building setback limitations (see Summit County Code 10-2-4).
 - b. Owners of Lots SLS-1-E 196-200, and LLSS-D-1, shall coordinate any structural or landscaping changes with the Silver Springs Master Association for setback requirements due to proximity to water impoundment dams maintained by the Master Association.
 - c. Shoreline Property is owned by the Master Association and is not owned by the SSSF HOA. Any Owner of a Lakeview Lot who submits an application that in any way impacts the Shoreline Property must obtain written approval from the Master Association before proceeding with any alteration or improvement to the Shoreline Property.

D. Grading and Land Contouring

The contour of the land may not be changed at any property line.

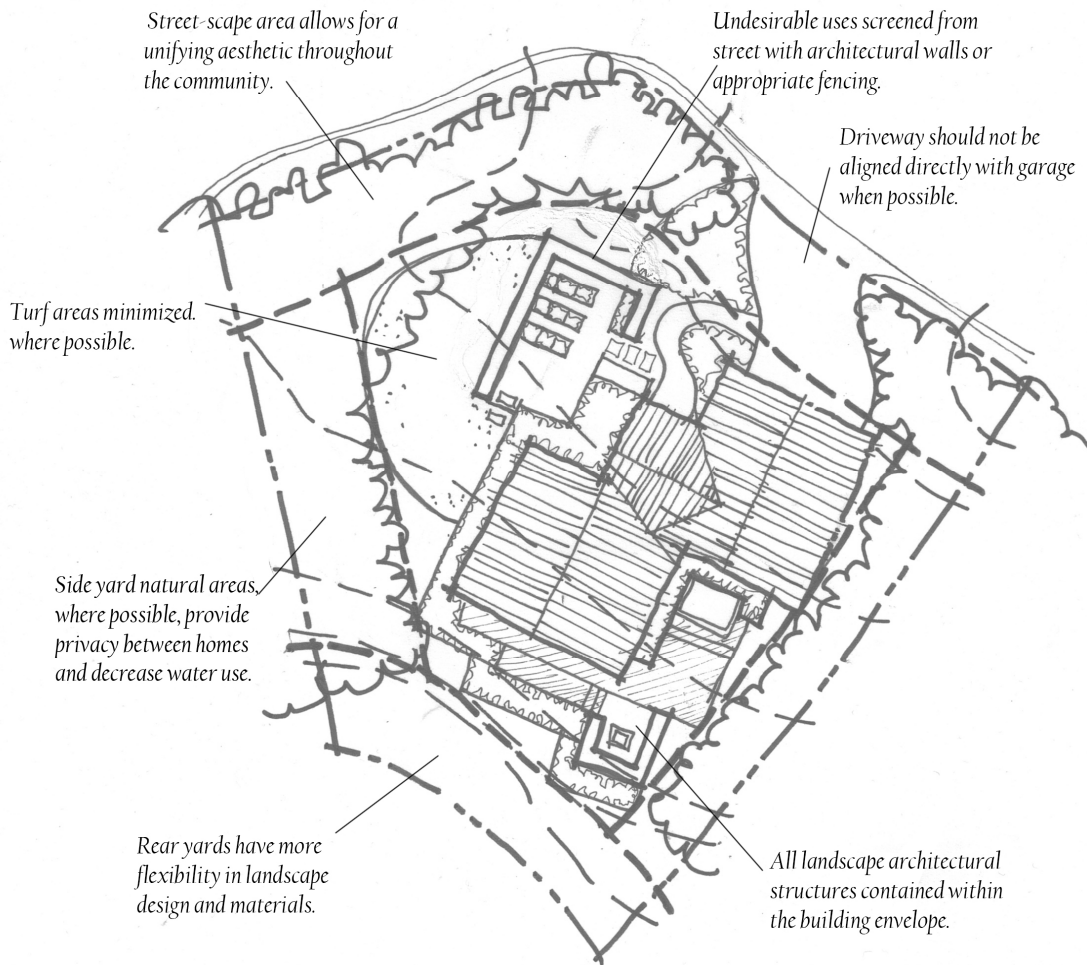
E. Grass/Lawn/Turf and Synthetic/Artificial Turf Limitations

There are no restrictions on the amount of grass/lawn (turf) per Lot. Synthetic grass or artificial turf is only permitted in a rear yard area and is not allowed outside of the CC&R designated building setbacks.

F. Gravel/Rock/Mulch/Decorative Rock/Sand Limitations

Gravel/rock/rock mulch/decorative rock/sand is not permitted as a primary groundcover and is only permitted for small walking paths, small sitting areas/patios, borders, and/or as an accent feature in a garden. In no case shall gravel/rock/rock mulch/decorative rock/sand exceed twenty-five percent (25%) coverage of the front yard (not including building footprint and driveway) of any property.

Naturally colored bark mulch (wood product) is approved as a ground cover and may be used throughout the property in garden beds, for walking paths, sitting areas/patios and/or similarly defined spaces.



G. Pavement Limitations

Pavement such as asphalt, concrete, or other materials if approved by ARC may not cover greater than 35% of any Lot's total landscape area (not inclusive of the building footprint). This includes driveways, parking pads, walkways, porches and patios. Asphalt driveways must be bordered with a material other than asphalt such as concrete, stone, or brick. Driveways must be maintained in a safe and attractive manner, and damaged driveways must be repaired.

1. Driveway Access

Driveways shall allow access from the street to the entry and/or garage with a minimal driveway footprint.

2. Driveway Materials

Gravel or rock driveways, including parking pads, are not permitted.

Driveways may be acid-washed or stained a light earth-tone color (such as warm hues) providing this color is maintained evenly and reapplied.

Stamped or colored driveways must be approved by the ARC and must maintain a simple and uniform pattern/design.

3. Driveway Widths

Driveways may be no wider than twenty feet (20') at the top of curb and gutter. This width may not be expanded for the first five feet (5') from the street right-of-way. Beyond this five-foot (5') demarcation, the pavement may taper wider to a width not to exceed twenty-four feet (24'). No more than four (4) cars may be parked on any driveway.

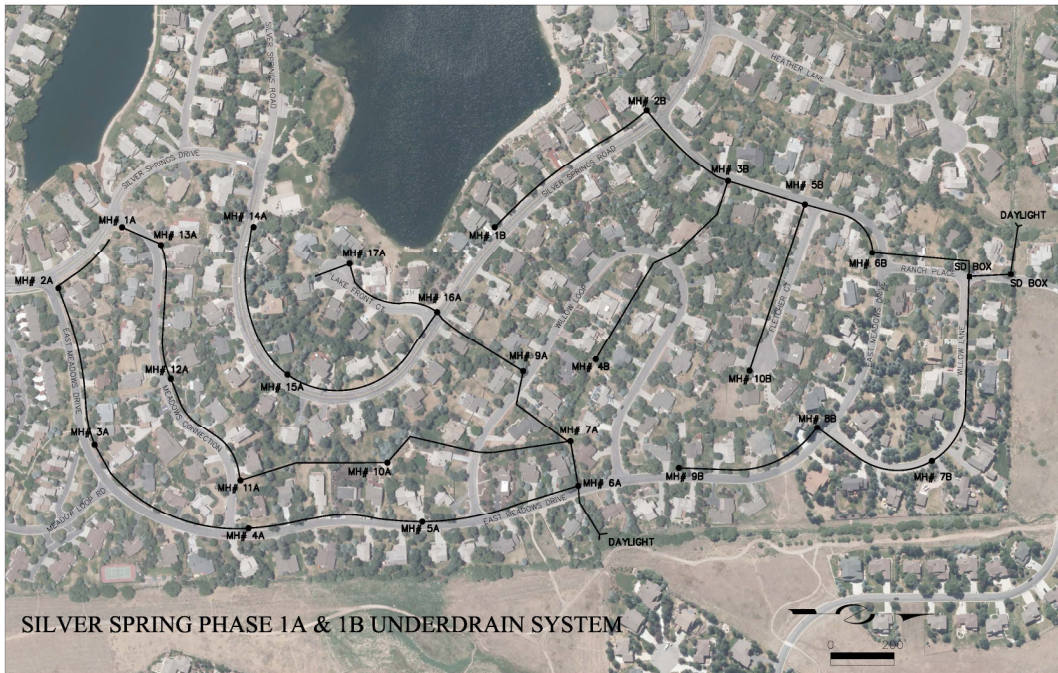
4. Porches, Patios and Walkways

Porches, patios, and walkways may be constructed of concrete or wood planking. Porches are permitted on the front façade of a structure and must be incorporated into the design of the structure. No patio may be greater than twenty-four inches (24") in height from grade. Any change in grade, material or drainage that results from construction of such patio must not adversely affect adjoining properties.

H. Water Underdrains within Silver Springs HOA

On lots through which the ground water underdrains exist, no trees or deep rooted bushes (those with roots that may exceed two feet (2') deep) shall be planted within the eight foot (8') easements shown on the recorded plat, including those located at the front, sides and rear of Lots. The front planting restrictions measure eight feet (8') from the edge of the street or gutter towards the residence on those Lots that have a platted county road and utility easement in the front of the Lot. Where the underdrain runs outside of the platted easement, but within a property boundary, the eight foot (8') planting restriction shall be observed within four feet (4') on either side of the drain alignment. The Association will remediate any interference with the function of the underdrain system, as necessary, at its cost, when the cause of the interference is landscaping installed prior to April 5, 2017. Any landscaping that is installed on or after April 5, 2017 without ARC approval in the areas described above is located there entirely at the risk of the homeowner. It is subject to removal or other remedial action by the ARC at the cost of the homeowner if it interferes with the function, maintenance or future replacement of any part of the underdrain system (see the following map).

Map of the Underdrain System in the Silver Springs Neighborhood



I. Art and/or Decorative Objects

1. *Outside Art on Display*

Art, sculpture and lawn ornamentation are not permitted where it can be viewed from the street right-of-way. Functional art or furniture, such as chairs, “ski lift” chairs, planters and similar must be approved by the ARC if in view of the street.

J. Fences, Gates and Walls

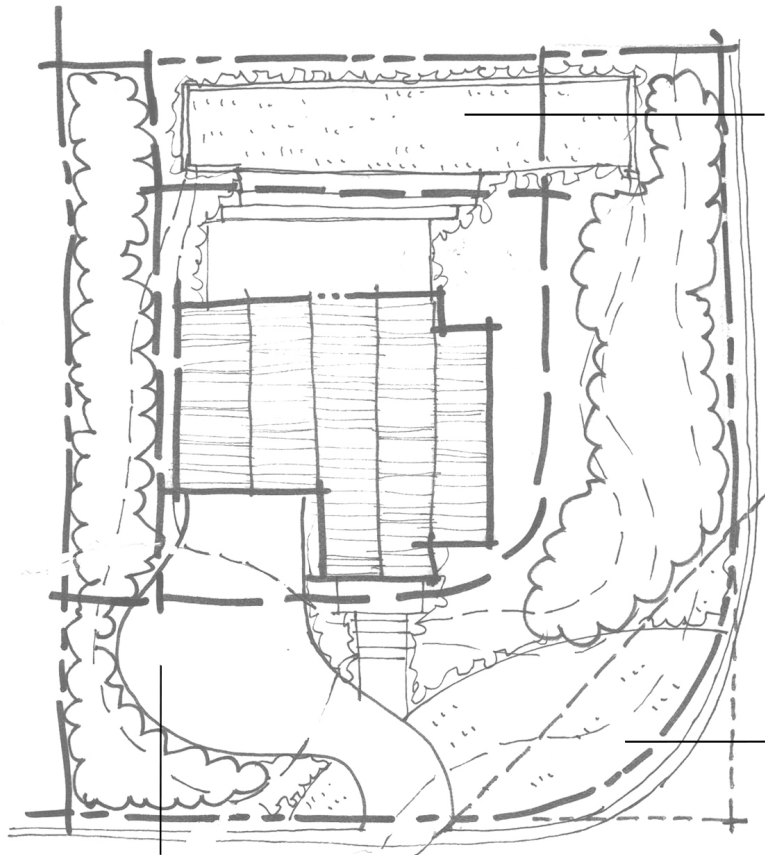
1. *Privacy Fencing and Materials*

Fences are allowed within the building envelope, side and rear yards. Privacy fences may be constructed of wood or metal (no chain-link fencing or fencing with plastic/metal slats or wood lattice) and may be no taller than six feet (6') in the side and rear yards only (from the rear façade of the structure to the back property line). Fences and gates shall be made of similar materials. Natural earth-toned colors and stain finishes are permitted. Paint is not permitted on fencing. Other materials and finishes are subject to the ARC approval.

No fencing of any kind is permitted in the front yard, from the front façade of the structure to the street/public right-of-way. Corner lots are considered as two (2) front yards and fencing shall not exceed the front line of either street-facing façade.

No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between two feet (2') and six feet (6') above the roadway shall be placed or permitted to remain on any corner lot within the triangular area formed by the street

property lines and a line connecting them at points twenty-five feet (25') from the intersection of the street lines, or in the case of a rounded property corner from the intersection of the street property lines extended. No plantings or improvements shall be permitted to remain within such distances of such intersections unless the sight line is maintained at sufficient height to prevent obstructing such sight lines.



Corner lot landscape plans shall consider or exchange either side or rear as the rear yard, except where designated as lake-side.

Landscaping at corner lots shall consider a 25' sight line in which no structure or plant material over 2' in height shall be allowed and all sight lines must be clear between 2' and 6' within this sight triangle.

Driveway may flare out wider after 5' setback from street.

K. Retaining Walls

Retaining walls shall be constructed of natural stone, wood, or metal. Walls constructed out of concrete must have all exposed surface covered with a stone veneer. Any structure that supports less than eighteen inches (18") of grade is not considered a retaining wall and may be constructed from other materials.

L. Water-wise Landscaping (Xeriscaping)

Water-wise landscaping, or xeriscaping, is encouraged throughout the community. This includes the recommended use of native plant materials as well as water-wise exotics that are not invasive.

Section 4: Detailed Design Standards

A. Arbors/Trellis/Pergola Structures and Clotheslines

General Considerations & Guidelines:

1. Arbors/trellis/ pergola structures require prior ARC approval.
2. All arbors/trellis/ pergola and similar structures shall be located in the rear yard, or in the side yard if enclosed by a fence six feet (6') high or, subject to the discretion of the ARC, otherwise substantially shielded from view by adequate landscaping.
3. Arbors/trellis/ pergola structures to provide support for plantings shall be anchored firmly in the ground with screw anchor ties or with proper concrete foundations. Lattice may also be used as part of the landscape architecture, but not as part of a fence.
4. All arbors/trellis/ pergola structures must be maintained in good condition.
5. Arbors/trellis/ pergola structures can be painted or stained to match the trim of the house or may be painted an earth tone color, "clear-coated" or slightly pigmented preservative and have a "matte" finish.
6. Clotheslines must be located in the rear yard and constructed of metal or wood posts not exceeding six feet (6') in height and can be painted or stained to match the trim of the house or may be painted an earth tone color, "clear-coated" or slightly pigmented preservative and have a "matte" finish. Clotheslines shall not be visible from the street right-of-way.

Submission Requirements:

1. A completed ARC Application.
2. A copy of the existing site plan (plat) showing the house, existing decks, patios, fences, and/or accessory structures, significant vegetation, property lines and easements and the location of the proposed arbors/trellis/ pergola structures.
3. A plan, to scale, showing the existing house and decks (if any), and the proposed arbors/trellis/ pergola structures including dimensions, placement, construction detail, and materials.

B. Basketball Hoops/Goals/Sport Courts

General Considerations & Guidelines:

1. Permanently installed basketball hoop/goals are preferred.
2. Portable basketball hoops are permitted but must be maintained in good condition.
3. Basketball backboards may be attached to the front or sides of any single-family dwelling to allow play from existing paved driveways.
4. All basketball stands, backboards, hoops and nets must be maintained in good condition. Basketball hoops in view must maintain a net.
5. Basketball backboards may be no closer to the street than half way between the home and street. Backboards, whether permanent or temporary, may not be placed in or near the road right of way.
6. All other sports courts, nets, bounce-back nets, play equipment, and similar must be stored out of view from the street right-of-way.

Submission Requirements:

1. Application is not required if the aforementioned guidelines are met.
2. Any proposed variance requires an application to the ARC.

C. Decks

General Considerations & Guidelines:

1. All decks require prior ARC approval.
2. Maintenance - All decks must be maintained in good condition.
3. Permits - All decks must be in compliance with Summit County building rules and regulations. The Homeowner shall obtain a Summit County building permit, if required.
4. Location - Decks shall maintain a setback from all property lines as required by Summit County regulations and those described in the CC&Rs.
5. Decorative elements spindles are discouraged.
6. Decks are only permitted in the rear yards. Requests for side and front yard decks shall be evaluated and may be approved by the ARC.

Materials:

1. All decks shall be constructed of pressure-treated wood or other rot-resistant wood such as cedar, redwood or cypress. Alternate materials, such as Trex, may be used for decks and railings. All other proposed uses of alternate materials must have a strong resemblance to wood and may be approved on a case-by-case basis by the ARC. A sample must be provided.
2. Decorative elements will be approved on a case-by-case basis by the ARC.
3. Decks may be treated with a "clear-coat" or slightly pigmented preservative and have a "matte" finish so long as the resultant color is of a natural earth tone.

Submission Requirements:

1. A completed ARC Application.
2. A copy of the existing site plan (or plat) showing the house, existing patios, fences and/or accessory structures, significant vegetation, property lines and easements and the location of the proposed deck.
3. Deck plans, to scale, showing the existing house and decks (if any), including dimensions, elevation drawings showing height above grade, railing and stair detail such as height, style, picket size, material to be used and any other proposed elements including, but not limited to benches, planters and privacy screens.
4. A sample of materials and color are required.

D. Holiday Decorations and Seasonal Lighting

General Considerations & Guidelines:

1. Holiday decorations and displays shall be placed and displayed no more than thirty (30) days prior to the holiday and shall be removed no later than thirty (30) days after the holiday.
2. Non-holiday seasonal lighting is permitted between November 1st and March 31st, and must be removed and stored after March 31st.
3. Seasonal lighting and lighted decorations must be turned off at or before 11pm each evening.
4. The Board of Trustees has discretion regarding any display or lighting deemed unsafe or in poor taste.

E. Doghouses

General Considerations & Guidelines:

1. Doghouses must be located in rear yards where visually unobtrusive.
2. All doghouses must be maintained in good condition.
3. Enclosed dog runs are prohibited.

F. Driveways

General Considerations & Guidelines:

1. All driveways require prior ARC approval.
2. See Section 3, G. (1)

Submission Requirements:

1. A completed ARC Application.
2. A copy of the existing site plan (plat) showing the house, existing decks, patios, fences, and/or accessory structures, significant vegetation, property lines and easements and the location of the proposed driveway.
3. A plan, to scale, showing the existing house and decks (if any), and the proposed driveway including dimensions, placement, construction detail, and materials.

G. Fireplaces

General Considerations & Guidelines:

1. Any newly constructed house or large remodel that includes a fireplace must utilize a natural gas system; no wood-burning fireplaces are permitted.

Submission Requirements:

1. None assuming adherence to the Design Guidelines.

H. Firewood

General Considerations & Guidelines:

1. Firewood shall be kept safely and neatly stacked at all times.

Submission Requirements:

1. None assuming adherence to the Design Guidelines.

I. Flagpoles

General Considerations & Guidelines:

1. All flagpoles require prior ARC approval.
2. Temporary flagpole staffs that do not exceed six feet (6') in length and are attached to the front wall or column of the dwelling do not require prior ARC approval.
3. All other permanent flagpoles require prior ARC approval.
4. Flagpoles must be made of wood or metal. Plastic poles are prohibited. One (1) permanent flagpole with two (2) flags maximum is permitted.

Submission Requirements:

1. Application to ARC describing flagpole height, design, materials, location as proposed.
2. Detailed description of flagpole including applicable drawings showing location.

J. Gutters and Downspouts (and Awnings/Window Coverings)

General Considerations & Guidelines:

1. All gutters and downspouts require prior ARC approval.
2. Gutters and downspouts shall match the color and design of those already existing on a structure.
3. Gutters and downspouts must not adversely affect drainage at adjacent properties or common areas.
4. Gutters shall be painted to match the corresponding existing house/trim color to which the gutters are affixed.

5. Window coverings or awnings are not permitted unless compatible with the architecture of the house and specifically approved by the ARC.

Submission Requirements:

1. A drawing illustrating color, material, style and proposed locations of gutters and downspouts on the house or garage.

K. Landscape and Grounds Maintenance

General Considerations & Guidelines:

1. Each homeowner is responsible for ensuring his/her home's grass/lawn (turf) is mowed, irrigated and properly maintained.
 - a. Lawn and landscaped areas shall be relatively free of weeds and in good repair.
2. All landscaping must be maintained in good condition.
 - a. If not properly maintained by the homeowner, Silver Springs Board of Trustees may make arrangements for any necessary maintenance and assess the homeowner for said maintenance.
 - b. Trees and shrubs shall be planted and maintained so they do not obstruct sight lines of vehicle and pedestrian traffic on streets (see Section 3, Paragraph J).
 - c. Compost shall be properly maintained in a container designed for compost. The compost container must be located in the rear yard only and out of sight from the street/right-of-way.

Submission Requirements:

1. None assuming adherence to the Design Guidelines.

L. Lighting

General Considerations & Guidelines:

1. All lighting requires prior ARC approval.
2. Excessive architectural or landscape lighting is discouraged.
3. All lighting shall be downcast, including fixture and bulb replacements.
4. All exterior lighting shall be 3,000 Kelvin or less to maintain a warm light color.
5. Low voltage landscape lights installed within eighteen inches (18") off the ground do not require prior ARC approval.
6. ARC approval is not required when replacing prior approved existing exterior light fixtures with fixtures of similar style and finish.
7. All other exterior lights including, but not limited to, security lights require prior ARC approval.

Submission Requirements:

1. A completed ARC Application.

2. A photo of the existing house showing the location of the proposed lighting and wattage or lumens.
3. A photo or cut-sheet of the proposed lighting.

M. Mailboxes

General Considerations & Guidelines:

1. All mailboxes require prior ARC approval.
2. Mailboxes/mailbox stands must be approved by the ARC.
3. Mailboxes must be maintained in good condition as other improvements on the lot (see Sec N below).
4. Mailboxes must be located in accordance with postal regulations.
5. The mailbox itself must be made of metal. The stand and enclosure is preferred to be wood.
6. Mailbox stands and enclosures may be unpainted natural wood. If painted, the same rules apply as other exterior design guidelines regarding color. If painted, no more than two colors are permitted on mailbox stands and enclosures and shall match the color of the house body and or trim.
7. High visibility, three inch (3") house numbers are preferred by the US Postal Service and rescue workers.
8. Lights may be allowed on mailboxes with prior ARC approval.
9. The box shall be mounted in concrete, perfectly vertical and with the floor of the box forty-two inches (42") above adjacent level (USPS requirement).
10. No deviation from these requirements is permitted.
11. Specific information regarding mailboxes/mailbox stands is available from the SSSF HOA property manager.

Submission Requirements:

1. A completed ARC Application.
2. A photo or cut-sheet of the proposed mailbox showing proposed materials, colors and dimensions.

N. Maintenance Requirements

General Considerations & Guidelines:

1. The following represents the maintenance requirements for the Silver Springs neighborhoods:
 - a. Any unsightly structures including, but not limited to, equipment, tools, boats, snowmobiles, construction/business trailers or storage vehicles, vehicles other than automobiles, objects and conditions shall be stored within an approved building or appropriately screened from view, except equipment being used during construction, maintenance or repairs.
 - b. No trailers, mobile homes, truck campers or trucks other than pickup trucks shall be kept or permitted to be stored upon the property except in accordance with applicable CC&Rs.
 - c. No vehicle, boat or equipment shall be constructed, reconstructed or abandoned upon the property.

- d. No lumber or other building materials or supplies, grass shrub or tree clippings, metal bulk materials or scrap shall be kept, stored or allowed to accumulate on the property.
- e. Structure surfaces, principally, but not exclusively, exteriors to home, sheds, fences, roofs and trash container enclosures, must be maintained in proper repair, preventing conditions such as conspicuous peeling, chipping, rotting or missing shingles.
- f. All painted exterior surfaces must be maintained in good condition.
- g. Damaged driveways and paved walkways are to be repaired or replaced.
- h. Garage doors must be installed and maintained as in "e" above.
- i. Roofs must be maintained in a condition that demonstrates structural soundness.
- j. Mailboxes are to be kept structurally sound.

O. Painting

General Considerations & Guidelines:

1. All exterior painting and/or repainting require prior ARC approval. Applicant shall submit all proposed paint color(s) for review. If repainting an existing and prior approved color, no application is required.
2. All painted exterior surfaces must be maintained in good condition.

Submission Requirements:

1. A completed ARC Application.
2. A photo of the structure to be painted showing original color.
3. A paint sample, minimum size of three inches by five inches (3" x 5"), of the proposed color.

P. Permanent Barbecue Grills/Firepits

General Considerations & Guidelines:

1. Permanent barbecue grills/firepits contained within a yard enclosed by a six-foot (6') fence do not require prior ARC approval provided approved construction materials are used.

Q. Play Equipment

General Considerations & Guidelines:

1. All play equipment shall be stored in rear yards only and out of sight from the street ROW. In the case of corner lots, such play equipment shall not be visible from either street right-of-way.
2. Play equipment includes, but is not limited to, swings, swing sets, slides, playhouses, play forts, bounce-back nets, trampolines and skateboard ramps.
3. A play-house must conform to the same criteria as sheds (see "Storage Sheds" for specific guidelines) and must not exceed ten feet (10') in height.
4. A playhouse is defined as a structure with solid walls (with or without windows) and a solid roof.

5. A play-fort must not exceed ten feet (10') in height. A play-fort is defined as an open structure with or without railings.
6. All play structures must conform to applicable safety regulations.
7. All play equipment must be maintained in good condition.

Submission Requirements:

1. A completed ARC Application, if proposal does not meet guidelines.
2. A copy of the existing site plan (plat) showing the house, existing decks, patios, fences and/or accessory structures, significant vegetation, property lines and easements and the location of the proposed play equipment or structure including dimensions, placement, framing details, materials, colors, etc.

R. Signs

General Considerations & Guidelines:

1. No sign of any kind shall be displayed to the public view on any Lot except legal notices and one (1) professional sign of not more than six (6) square feet; one (1) standard size (no more than four [4] square feet) real estate sign advertising the property for sale or rent; or signs used by a builder to advertise the property during construction and sale only (no more than four [4] square feet).
2. Professional signs are only allowed as wall-mounted signs; no permanent freestanding sign structure is permitted.
3. Real estate signs or construction signs - no freestanding sign may be taller than five feet (5') and is only allowed on a single or double pole structure.
4. Real estate signs are allowed for no longer than six (6) months and/or only while the property is actively being marketed for sale.
5. All other approved signs are considered temporary and allowed for no longer than ninety (90) days.
6. All signs must be approved by the Summit County Planning and Building Department.

Submission Requirements:

1. A complete application if sign display does not meet the aforementioned guidelines.
2. A photo of the existing house showing proposed sign location.
3. A photo and dimensions of the proposed sign.
4. A written description of the proposed time duration the sign will be displayed.

S. Sheds, Greenhouses & Accessory Structures

General Considerations & Guidelines:

1. All sheds require prior ARC approval.
2. Sheds shall be located a minimum of two feet (2') from any property line.
3. Sheds or accessory structures shall not exceed ten feet (10') in height from existing grade.

4. Shed or accessory structures roof color shall match the house roof color and siding color shall match the house siding color. All other roof and siding colors require ARC approval.
5. Sheds or accessory structures shall be located in the rear yard, or in the side yard if enclosed by a fence six feet (6') high or, subject to the discretion of the ARC, otherwise substantially shielded from view by adequate landscaping.
6. Sheds or accessory structures must not interfere with any ground drainage.
7. All sheds or accessory structures must be maintained in good condition.
8. No shed or accessory structures shall have a building footprint greater than 100 square feet, or smaller if determined by County ordinance.
9. Only one (1) storage shed or accessory structure is permitted per Lot.
10. Greenhouses may not be visible from the street right-of-way.
11. Greenhouses for private use only are permitted as an accessory building.
12. Approved building materials shall be consistent with materials allowed for the main living structure. No reflective materials will be permitted.
13. All sheds or accessory structures require prior ARC approval.
14. Adherence to County Code and acquiring necessary Building Permits are the homeowner's responsibilities.

Submission Requirements:

1. A completed ARC Application.
2. A copy of the existing site plan (plat) showing the house, existing patio, deck, fencing and accessory structures, significant vegetation, property lines and easements and the location, with dimensions, of the proposed shed or greenhouse.
3. If pre-constructed, a catalogue photo or manufacturer's "cut sheets" of the shed including dimensions, materials and colors.
4. If the storage shed is to be custom construction, include a plan and elevation drawings, to scale, with dimensions, framing, materials, and colors. If built against the rear wall of the house, include an elevation description showing the proposed shed.
5. A photo and detailed plans of the proposed shed or greenhouse.

T. Swimming Pools/Hot Tubs/Spas/Water Features

General Considerations & Guidelines:

1. All swimming pools, hot tubs, spas and water features require prior ARC approval.
2. Swimming pools, hot tubs, spas and water features must conform to all applicable Summit County regulations. Building/Planning Department permits and approvals are required and any other Safety Requirements must be obtained by and are the responsibility of the property owner.
3. Above-ground swimming pools are prohibited.
4. Swimming pools, hot tubs, spas and water features must be located in the rear yard only.

Submission Requirements:

1. A completed ARC Application.

2. A copy of the existing site plan (plat) showing the house, existing decks, patios, fences, and/or accessory structures, significant vegetation, property lines and easements and the location with dimensions of the swimming pool/hot tub/ spa/water feature.
3. A photo and plans of the proposed swimming pool/hot tub/ spa/water feature.

U. Temporary Structures

General Considerations & Guidelines:

1. No temporary storage sheds, dumpsters, temporary structures, horse-trailers, mobile homes, campers, porta-potties or non-permanent out buildings shall be placed or erected on any lot without prior ARC approval. Temporary structures placed for house construction or major remodeling or landscaping shall remain only during the legitimate construction period.

Submission Requirements:

1. A completed ARC Application.
2. A copy of the existing site plan (plat) showing the house, existing decks, patios, fences and/or accessory structures, significant vegetation, property lines and easements and the location of the proposed temporary structure(s), with dimensions.
3. A photo and plans of the proposed temporary structure and estimated construction duration.

V. Trampolines

General Considerations & Guidelines:

1. Trampolines must be located to the back/rear and side yards provided they are hidden behind a fence of adequate height to screen the trampoline from public view from the street ROW.
2. Trampoline safety nets are allowed as long as the preceding guidelines are met.

W. Trash Containers and Trash Enclosures

General Considerations & Guidelines:

1. All trash container enclosures must have prior ARC approval.
2. Maintenance:
 - a. All trash containers must be kept clean and must have secure lids. Homeowners are responsible for cleaning up scattered trash.
3. Location:
 - a. Trash containers must be hidden from view, whether enclosed in a rear fenced yard, kept in a garage or enclosed in a trash container enclosure.
 - b. Enclosures must conceal all containers.
 - c. Enclosures cannot be located at the front of the home.
 - d. Enclosures must be attached or appear to be attached to the house.
 - e. Trash enclosures may also be located on the side of the home.
4. Trash Enclosure Construction:

- a. Trash enclosures must be high enough to completely hide trash containers but shall not exceed five feet (5') in height and six feet (6') in width (wide enough for two containers).
- b. Trash enclosures should be painted to match the house or the trim of the house or be treated with a "clear-coat" or slightly pigmented preservative and have a "matte" finish.
- c. If the enclosure has a roof, it is deemed a shed and therefore must follow design guidelines for a shed.

Submission Requirements:

1. A completed ARC Application.
2. A copy of the existing site plan (plat) showing the house, existing decks, patios, fences and/or accessory structures, significant vegetation, property lines, easements and the location of the proposed trash container enclosure, with dimensions.
3. A design drawing of the proposed enclosure with details of materials, colors and desired finish.

X. Vegetable Gardens

General Considerations & Guidelines:

1. A vegetable garden may be located in the rear yard or side yard providing a solid fence is located on the adjacent property line. If there is no fence or an open fence only, a five-foot (5') space must be maintained between the garden and the property line. □

Section 5: Definitions

The following capitalized terms are more specifically defined below for the purposes of these Design Standards only:

Accessory Structure – A building or structure that is a subordinate structure on the same lot and the use of which is incidental to that of the primary structure. It is also used exclusively by the occupant or owners of the primary structure.

Applicant – The owner or representative submitting the proposal for design review.

Architect - A licensed professional that designs buildings and often oversees their construction.

Builder(s) - An owner's general contractor, including any and all of such Contractor's subcontractors, employees, agents and other person(s) working in conjunction with the construction of improvements on an owner's Lot.

Building Envelope – The area of a lot in which development activity can take place (as defined by County or CC&R setbacks, whichever is more restrictive).

Building Footprint – The physical area on which the building structure lies within the Building Envelope.

CC&Rs – The Declaration of Covenants, Conditions and Restrictions as defined by the Homeowners Association.

Deck – Wooden or equivalent structure built adjacent to a home.

Design Review - The comprehensive architectural and landscape architectural review process by which an Owner submits plans for building a residence on a Silver Springs property, or proposes alterations, additions, or remodels.

Driveway – A private paved surface connecting a house or garage with the street.

Façade – The exterior faces of a home or building.

Fence – A structure that functions as a boundary or barrier.

Front Yard Setback – The defined and required distance between the front yard property line and where a structure may be built.

Garage – A structure in which motor vehicles or other items can be stored.

GFA - Gross Floor Area – The total square footage of a home, without subtractions or exclusions of any kind.

HOA – Homeowners' Association.

Homeowner – The owner of real property in the Silver Springs neighborhood.

Landscape Architect – A person who is educated in the field of landscape architecture. The practice of landscape architecture includes: site analysis, site inventory, land planning, planting design, grading, storm water management, sustainable design, construction specification and insuring that all plans meet the current building codes and local and federal ordinances.

ARC – The Landscape and Architectural Review Committee, consisting of three (3) to five (5) members, appointed by the Silver Springs Homeowners Association Boards.

Lot – The specific real property Lot currently causing an Owner, including Owner's Architect and Builder to participate in Design Review at Silver Springs.

Native Species – Plant types that are native to Summit County.

Parking Area/Pad – The area of the driveway or paved surface of a lot dedicated to exterior parking.

Patio – A paved area or courtyard near a residence and located in the rear yard.

Plans – Any and all site plans, floor plans, landscape plans, elevations, drawings, specifications, models, samples and/or other details submitted as part of design review.

Rear Yard Setback – The defined and required distance between the rear yard property line and where a structure may be built.

Rock Mulch or Gravel – Crushed and pulverized stone used in exterior landscaped areas primarily for seating areas or walkways, or as an accent feature in a garden but not appropriate for a planting bed cover.

Seasonal Decorative Objects – Any object or decoration that is placed in a yard, on a porch, or affixed to a structure. These items include but are not limited to: yard statuary, decals in windows, porch ornamentation, streamers, or balloons.

Sidewalk – A paved exterior walking space.

Side Yard Setback – The defined and required distance between the side yard property line and where a structure may be built.

Solar Panels – Photovoltaic panels used on roof surfaces to capture and transfer solar energy.

Structural Landscape Elements – Structures and adornments used to enhance an exterior landscaping plan.

Turf/lawn/grass – Domesticated and cultivated grass that requires irrigation and maintenance (e.g. mowing).

Water-wise Exotic Species – Non-native plants that are drought-tolerant and require little or no irrigation.

Xeriscape – a landscaping method developed especially for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation)

Section 6: Appendices

Landscape Planting – Reference Guides

Landscape Planting – Reference Guides

Local Hardiness Zone per United States Department of Agriculture (USDA):

Zone 5b

A Good Local Reference Book:

High Altitude Planting A Practical Guide To Landscaping, Gardening and Planting Above 6,000 Feet, by Ann Barrett

Website Listing Recommended Planting Dates by Species for Park City:

<http://www.almanac.com/gardening/planting-dates/UT/Park%20City>

Website Listing Species Generally Appropriate for Park City and Summit County:

<http://www.parkcity.org/Home/ShowDocument?id=14461>

Websites Listing Invasive Species in Summit County and the State:

State Listed Noxious Weeds:

<https://plants.usda.gov/java/noxious?rptType=State&statefips=49>

Summit County Noxious Weeds:

<http://www.co.summit.ut.us/DocumentCenter/View/113>